

CITY OF WESTMINSTER			
PLANNING APPLICATIONS SUB COMMITTEE	Date 29 October 2019	Classification For General Release	
Report of Director of Place Shaping and Town Planning		Ward(s) involved Abbey Road	
Subject of Report	9 Blenheim Road, London, NW8 0LU		
Proposal	Excavation of a basement beneath the footprint of the building and part of rear garden, with lightwells to front and side elevations.		
Agent	Cranbrook Basement Design and Construction Ltd		
On behalf of	Richard & Vinke		
Registered Number	19/01717/FULL & 19/01802/LBC	Date amended/ completed	07 August 2019
Date Application Received	6 March 2019		
Historic Building Grade	Grade 2		
Conservation Area	St John's Wood		

1. RECOMMENDATION

1. Grant conditional permission and listed building consent.
2. Agree reasons for granting conditional listed building consent as set out in Informative 1 of the draft decision letter.
3. Agree reasons for granting conditional listed building consent as set out in Informative 1 of the draft decision letter.

2. SUMMARY

Permission is sought for the excavation of a new basement with lightwells to the front and side elevations. During the course of the application further information was submitted by the applicant, including an Arboricultural Impact Assessment and revised drawings.

The St John's Wood Society have raised concerns with regard to the impact on trees. An objection has been received on behalf of two neighbouring properties in relation to issues of surface water flooding in the area. Another neighbour has also raised concerns with regards to Party Wall issues.

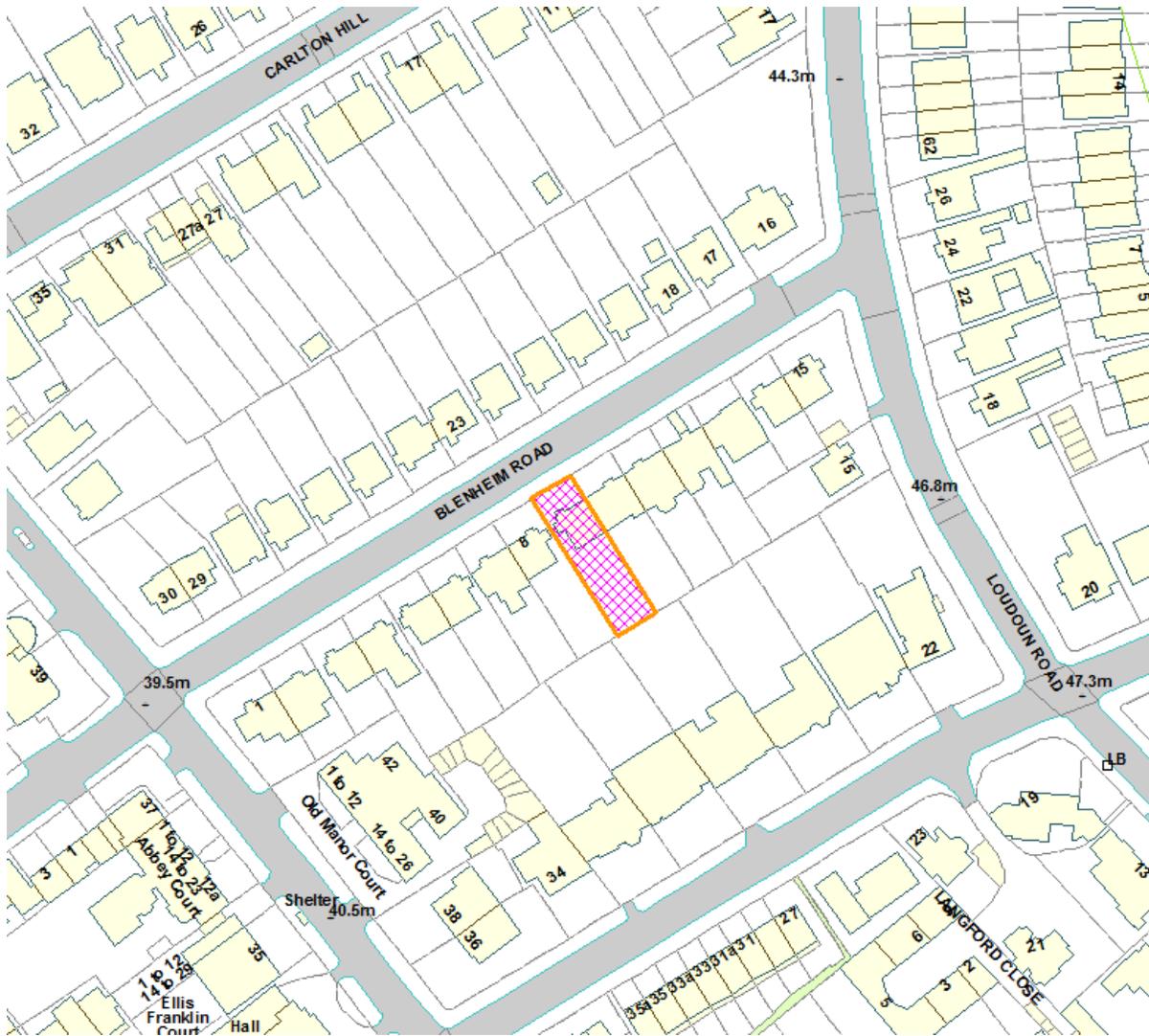
The key issues for consideration in this case are:

- Whether the proposals preserve or enhance the character and appearance of the

- conservation area and the special architectural character of the listed building;
- Impact of the proposal on the amenity of neighbouring residents;
- Impact of the proposals on trees; and
- Compliance with Westminster's basement policy, and Supplementary Planning Document on Basement Development in Westminster, including any issues of flood risk

Despite the objections raised, and subject to appropriate conditions as set out in the draft decision letter appended to this report, the proposed development is considered to comply with the relevant policies in Westminster's City Plan adopted in November 2016 (the City Plan) and the Unitary Development Plan adopted in January 2007 (UDP). As such, the application is recommended for approval.

3. LOCATION PLAN



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4. PHOTOGRAPHS



View from street (top) and rear elevation (bottom)

5. CONSULTATIONS
Original Consultation

WARD COUNCILLORS (ABBAY ROAD)
Any response to be reported verbally.

THAMES WATER
No objection subject to standard informatives relating to surface and ground water drainage.

ST. JOHN'S WOOD SOCIETY
We request that the arboricultural manager ensures that any trees of amenity value are protected

ARBORICULTURAL MANAGER
No objection subject to conditions requiring the submission of a method statement for tree protection measures and a condition requiring a landscaping scheme.

BUILDING CONTROL
No objection following additional details submitted in relation to stages of excavation and temporary supports, as well as the sequencing of any underpinning or piling proposed.

HIGHWAYS PLANNING MANAGER
No response

LOCAL FLOOD AUTHORITY
Any response to be reported verbally.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS RECEIVED

No. Consulted: 14
Total No. of replies: 1
No. of objections: 1
No. in support: 0

In summary objections raised on the following grounds:

- Would like to be assured that there will be no noise or vibration from plants, machinery or ventilation systems once the works are completed;
- Would like to be assured that their interests are protected by a Party Wall Award. Any damage that might occur to my property as a result of the works will be made good in an appropriate manner
- Would like to be assured that nothing will project into my property beyond the Party Wall line, including underground;

PRESS ADVERTISEMENT / SITE NOTICE:
Yes

Re-consultation

WARD COUNCILLORS (ABBAY ROAD)

Any response to be reported verbally.

THAMES WATER

No objection subject to standard informatives relating to surface and ground water drainage.

ST. JOHN'S WOOD SOCIETY

We note that issues have been raised in the arboricultural report and request that the arboricultural manager considers these as well as the issues raised by neighbours so as to ensure that all trees of amenity value are protected.

ARBORICULTURAL MANAGER

No objection subject to conditions requiring the submission of a method statement for tree protection measures and a condition requiring a landscaping scheme.

BUILDING CONTROL

No objection following additional details submitted in relation to stages of excavation and temporary supports, as well as the sequencing of any underpinning or piling proposed.

HIGHWAYS PLANNING MANAGER

No objection

LOCAL FLOOD AUTHORITY

Any response to be reported verbally.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS RECEIVED

No. Consulted: 15

Total No. of replies: 1

No. of objections: 1 – on behalf of 2 properties

No. in support: 0

FLOOD RISK CONCERNS

- (raised by a surveyor who has investigated issues of ground water) there are existing surface water issues at adjoining properties to the application site and there is concern that the proposed basement at no. 9 would exacerbate these existing issues
- One bore hole is insufficient to demonstrate that there would not be issues of surface water/flood risk

6. BACKGROUND INFORMATION**6.1 The Application Site**

9 Blenheim Road is a Grade II listed semi-detached house dating from c.1840, located within the St John's Wood Conservation Area. The building is characteristic of a St

Johns Wood villa in that it is of 2 storeys over a lower ground. There are trees located in the front and rear gardens as well as on adjoining land. No. 10 Blenheim Road forms the other half of the semi-detached house, to the east; and No. 8 adjacent to the west forms one of a semi-detached house with No. 7.

6.2 Recent Relevant History

16/11989/LBC

Lower the ground level of a section of the garden, to replace the external access staircase from ground floor level to the garden, the insertion of new openings on the rear elevation at lower ground floor level, the insertion of a rooflight. Internal alterations.

Application Permitted 10 February 2017

16/11988/FULL

Lower the ground level of a section of the garden, to replace the external access staircase from ground floor level to the garden, the insertion of new openings on the rear elevation at lower ground floor level, the insertion of a rooflight.

Application Permitted 10 February 2017

7. THE PROPOSAL

Permission is sought for the excavation of a basement floor below the existing house and part of the rear garden with associated lightwells to the front and rear.

Further details and revised drawings have been submitted during the course of the application, including the submission of an Arboricultural Impact Assessment as there are trees that would be affected in proximity to the site; the submission of revised drawings showing a maximum floor to ceiling height of 2.6m to address heritage issues relating to the impact on the listed building and the submission of details showing a solid enclosure added to the top of the stairs at the existing lower ground floor level to address heritage concerns. A formal re-consultation was carried out subsequent to these details being submitted.

Following these revisions, other minor revisions were also made, including the provision of a margin of undeveloped land from the shared boundary with no.10 Blenheim Road, and the provision of a minimum soil depth of 1.2m above the basement below the rear garden to address the requirements of Westminster's basement policy. Further information on the sequencing, underpinning or piling during excavation works were also submitted to address queries raised by the Building Control Officer. To ensure that some measures of Sustainable Urban Drainage were incorporated within the scheme, details of permeable paving to the rear patio were also submitted.

8. DETAILED CONSIDERATIONS

8.1 Land Use

No change of use is proposed; the proposal results in additional 87 sqm residential floor space to this single family dwelling house, which is considered acceptable in land use terms and in accordance with Policy H3 in the UDP.

8.2 Townscape and Design

The buildings to this terrace were not originally designed with basement accommodation, and the creation of a new basement where accommodation was not originally planned beneath ground level is an issue of some significance in listed building terms. It is recognised however that there are previous approvals for basements to similar buildings in St John's Wood, and that the City Council's policies and guidance allow for a consideration of basements where they meet certain specified criteria and where they are considered acceptable in terms of their impact on listed buildings and conservation areas.

The basement has been amended during the course of the application with respect to its floor to ceiling height, and is now considered acceptable in terms of being proportionate to the lower ground floor level above. The staircase down to the new basement is considered acceptable in the context of this interior.

The new front lightwell will not be visible from anywhere except within the application property, and the side lightwell with grill is considered discreet and will not adversely affect the building or conservation area. A condition requiring a section drawing through the side lightwell showing the relationship between the grill and the surrounding garden levels is recommended.

The applications are therefore acceptable in design, conservation and listed building terms subject to details required by conditions and would accord with policies DES 1, DES 5, DES 9 and DES 10 in the UDP and S25 and S28 in the City Plan.

8.3 Residential Amenity

By virtue of its location below ground, the proposed basement would not result in unacceptable loss of light, sense of enclosure or loss of privacy for the occupants of neighbouring properties. The proposal is therefore in accordance with policies ENV13 of Westminster's Unitary Development Plan (adopted January 2007) and S29 of Westminster's City Plan.

An adjoining neighbour had raised issues relating to potential noise from plant or ventilation equipment that may be installed as part of the proposal. The application does not include any proposal for any plant or ventilation system. As there are lightwells proposed the new basement would receive natural ventilation. Any proposed plant or ventilation system would require separate planning permission.

8.4 Transportation/Parking

The basement extension would not protrude under the highway. The proposal also does not represent an increase in residential units or loss of parking and therefore accords with UDP policy TRANS23. As there is no increase in the number of units, there is no requirement for cycle parking provision on site. The development is therefore acceptable in highways terms.

8.5 Economic Considerations

No economic considerations are applicable for a development of this size

8.6 Access

The proposals would not alter the existing access to this private dwellinghouse.

8.7 Other UDP/Westminster Policy Considerations

8.7.1 Basement Development

The amended proposals are considered to be in accordance with CM28.1 of the City Plan (November 2016) for the reasons set out as follows:

Part A. 1-4

The applicant has provided an assessment of ground conditions for this site and this has informed the structural methodology proposed, which has also been submitted with the application within a structural statement prepared by an appropriately qualified structural engineer. These documents have been reviewed by Building Control who advise that the structural methodology proposed is appropriate for the ground conditions found on this site.

In terms of construction impact, the applicant has provided a signed proforma Appendix A confirming that they agree to comply with the City Council's Code of Construction Practice (CoCP). A condition is recommended to ensure that the applicant complies with the COCP and that the construction works are monitored for compliance by the Environmental Inspectorate at the applicant's expense.

Concerns have also been raised in relation to sufficient and satisfactory information provided within the submitted Construction Method Statement, such as sufficient investigation being carried out, with only one borehole being dug, as cited by one of the objectors. At this stage, the submitted Construction Method Statement is provided for information to sufficient detail required for the purpose of the planning application but is for information only. This document is not endorsed or approved by the Council. The construction of the basement will be the subject of the building regulations and the construction methodology chosen will need to satisfy these regulations in all respects. The applicants will be reminded of this by informative.

A flood risk assessment has been provided and which demonstrates that flood risk would not be exacerbated in this location, which has a low flood risk and is not in an area identified as being susceptible to surface water flooding. The requirements of

Westminster's SPD 'Basement Development in Westminster' are also considered to be met, in particular in relation to the requirements for sites located within Surface Water Flood Risk Hotspot Areas. The details submitted demonstrate compliance with the requirements of the SPD. However, as there was minimal measures proposed to incorporate sustainable urban drainage, the SPD states that steps should be taken to avoid increasing (and where possible reduce) surface water flood risk for the area.

The applicant has subsequently proposed to incorporate this in the form of permeable surfacing, with details submitted of the proposed patio area to the rear being of permeable materials, which will be secured by condition. It is therefore considered that the requirements of the SPD in relation to sustainable urban drainage.

There are also no adverse comments from the Building Control Officer and any response from our Local Flood Risk Officer will be reported verbally.

Part A. 5 & 6

A standard condition will be attached with regards to hours of work; this condition states that that no piling, excavation and demolition work is permitted to be undertaken on Saturdays, Sundays or bank holidays. This condition is consistent with environmental protection legislation and will help to alleviate disturbance to neighbours outside of the prescribed hours.

The City Council adopted its Code of Construction Practice (CoCP) at the end of July 2016 and if permission is granted, the applicants will be required to comply with the CoCP. The CoCP strongly encourages early discussions between developers and those neighbouring the development site. It notes that this should be carried out after planning permission is granted and throughout the construction process. By providing neighbours with information about the progress of a project, telling them in good time about when works with the potential to cause disruption will take place and being approachable and responsive to those with comments or complaints will often help soothe the development process. A condition is recommended requiring evidence to be submitted of compliance with the CoCP. This must be submitted before work starts on site, subject to which the proposals are considered acceptable.

The site is not in an archaeological priority area and therefore part 6 does of the policy does not apply.

Part B. 1&2

There are trees on and in proximity to the application site which will be required to be protected. The applicant has provided a Tree Survey and Arboricultural Impact Assessment which has been considered by the Arboricultural Officer. The Arboricultural Officer is satisfied that trees will not be adversely affected by the proposed basement construction providing tree protection measures are in place. A condition requiring a Tree Method Statement to be submitted will be attached should the application be supported.

Part B. 3

The proposals do not include any details in relation to ventilation. However, the proposed lightwells to the front and side will provide natural ventilation. An informative

is recommended to advise the applicant that should they require mechanical ventilation, a separate application for planning permission will be required.

Part B. 4 & 7

The external manifestations of the basement would comprise of the lightwells to the front and side. These are not considered to have a significant impact in terms of sustainable urban drainage. The basement has been set in from the boundaries within the garden to provide drainage around the subterranean structure.

Part B. 5&6

The proposals are considered to be discreet and will not negatively impact on the conservation area (see also Section 8.2 of this report).

Part C. 1

The proposed basement will be under the footprint of the existing house with additional extension to the front and side to provide lightwells as well as under part of the rear garden. It does not extend under more than 50% of the garden area. A margin of undeveloped garden land is retained around the element of proposed basement that is not subterranean, including under the rear garden. This part of the policy is therefore considered to have been met.

Part C. 2

This part of the policy requires a minimum soil depth of 1.2m to provide drainage over the proposed basement. This minimum soil depth has been provided for the area of basement that would be under the rear garden.

Part C. 3

Only a single basement below the original lowest level of the property is proposed which is considered acceptable and in accordance with this part of the policy.

Part D

The basement does not extend under the highway; therefore, this part of the policy does not apply in this case

8.7.2 Trees

The Council's Tree Officer noted that the initial application was not accompanied by an Arboricultural Impact Assessment. This had since been submitted by the applicant which has been considered to be acceptable by the Tree Officer, subject to a conditions requiring standard tree protection conditions and also details of a landscaping scheme.

8.8 Westminster City Plan

The City Council is currently working on a complete review of its City Plan. Informal consultation on the first draft of Westminster's City Plan 2019-2040 took place between Monday 12 November 2018 and Friday 21 December 2018. Following this informal consultation, the draft plan has been revised and formal consultation is now being carried out under Regulation 19 of the Town and Country Planning Act (Local Planning)

(England) Regulations 2012 between Wednesday 19 June 2019 and Wednesday 31 July 2019. In the case of a draft local plan that has been published for consultation under Regulation 19 of the Town and Country Planning Act (Local Planning) (England) Regulations 2012, including a second revision Regulation 19 plan, it remains at a pre-submission stage (i.e. has yet to be submitted to the Secretary of State for Examination in Public) and therefore, having regard to the tests set out in para. 48 of the NPPF, it will generally attract very limited weight at this present time.

8.9 Neighbourhood Plans

Not applicable

8.10 London Plan

This application raises no strategic issues.

8.11 National Policy/Guidance Considerations

The City Plan and UDP policies referred to in the consideration of this application are considered to be consistent with the NPPF unless stated otherwise.

Further to the Town and Country Planning (Pre-commencement Conditions) Regulations 2018, the City Council cannot impose a pre-commencement condition (a condition which must be discharged before works can start on site) on a planning permission without the written agreement of the applicant, unless the applicant fails to provide a substantive response within a 10 day period following notification of the proposed condition, the reason for the condition and justification for the condition by the City Council.

During the course of this application a notice was served relating to the proposed imposition of a pre-commencement condition to secure the applicant's adherence to the City Council's Code of Construction Practice during the demolition/excavation and construction phases of the development; the submission of a tree protection method statement; and details of a landscaping scheme. A condition requiring a section drawing through the side lightwell showing the relationship between the grill and the surrounding garden levels is also recommended on the listed building consent application. The applicant has agreed to the imposition of these conditions.

8.12 Planning Obligations

Planning obligations are not relevant in the determination of this application. The development is also not liable to pay Westminster's and the Mayor's Community Infrastructure Levy (CIL) as the proposed extension will measure less than 100sqm.

8.13 Environmental Impact Assessment

An Environmental Impact Assessment is not relevant in the determination of this application.

8.14 Other Issues

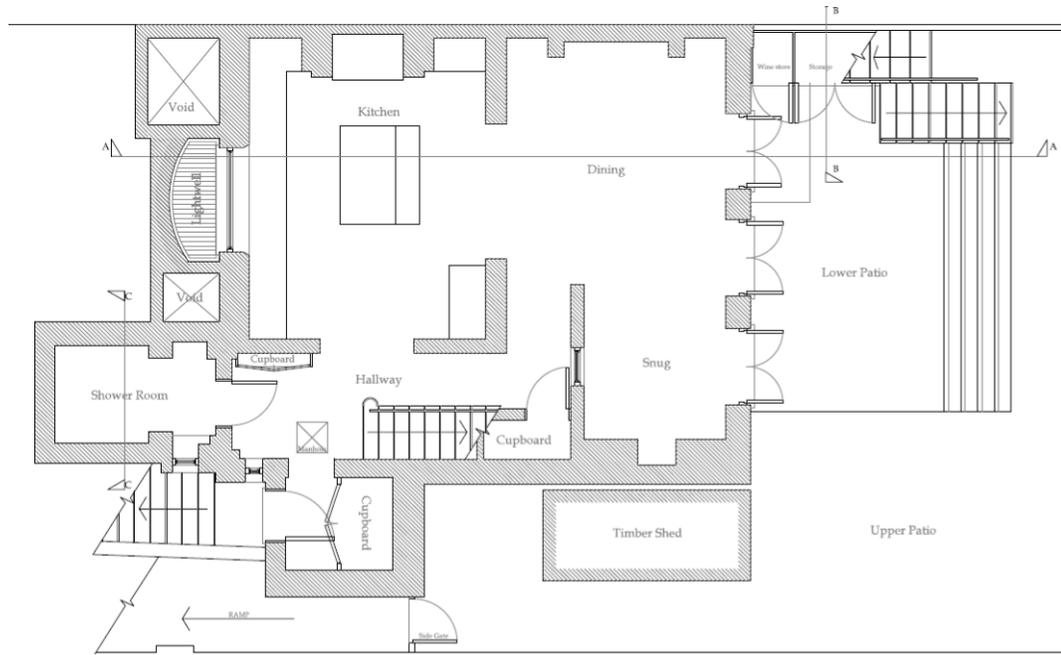
Any Party Wall matters such as the request by an objector for the extension to be built inside the party wall are a civil matter and are not a planning consideration. For any works that involve a party wall, the applicant will be required to ensure development is carried out with regard to Party Wall legislation.

The issues raised by an objector in relation to the flood risk to the site as a result of the proposal have been addressed within section 8.7.1 on Basement Development.

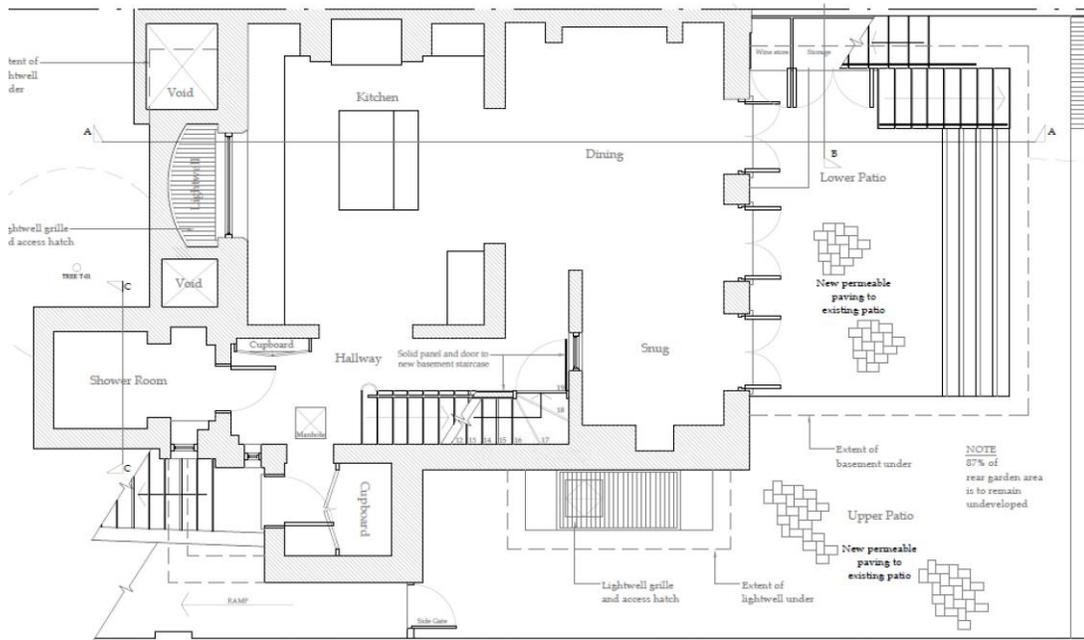
(Please note: All the application drawings and other relevant documents and Background Papers are available to view on the Council's website)

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT PLEASE CONTACT THE PRESENTING OFFICER SARAH WHITNALL BY EMAIL AT swhitnall@westminster.gov.uk

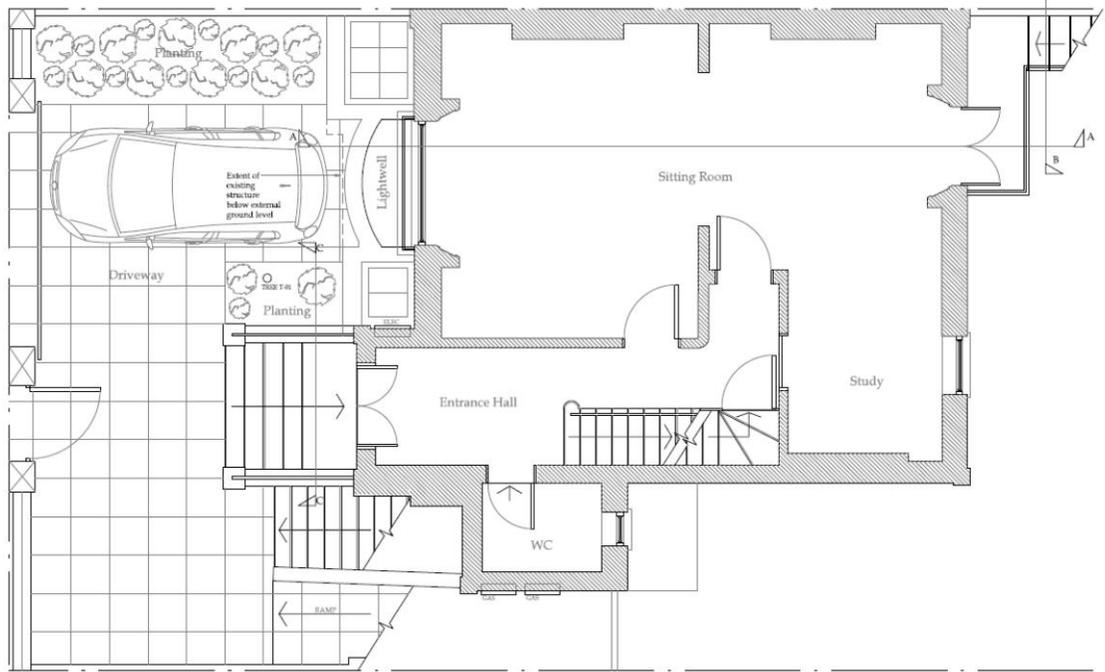
9 KEY DRAWINGS



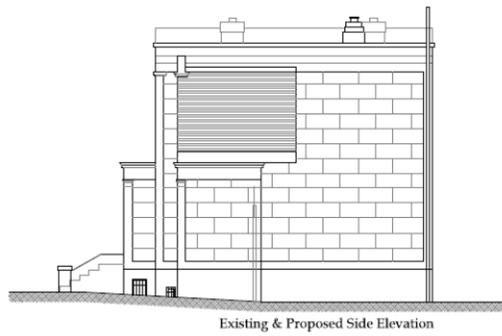
Existing Lower Ground Floor



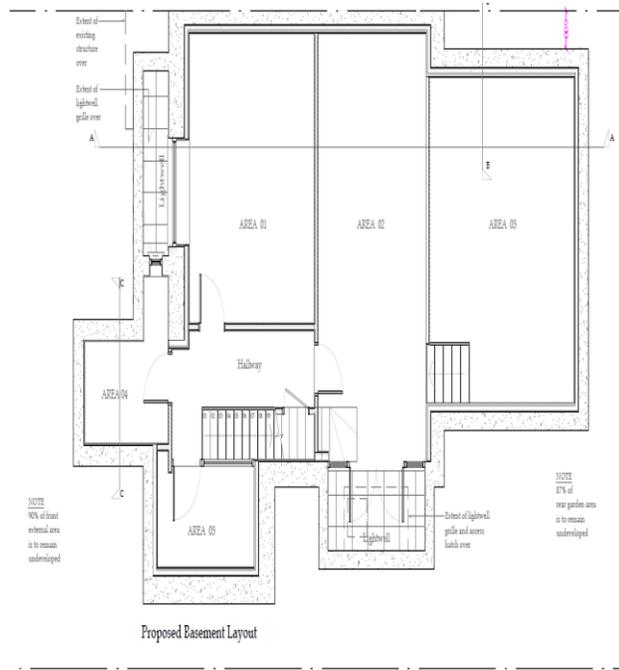
Proposed Lower Ground Floor



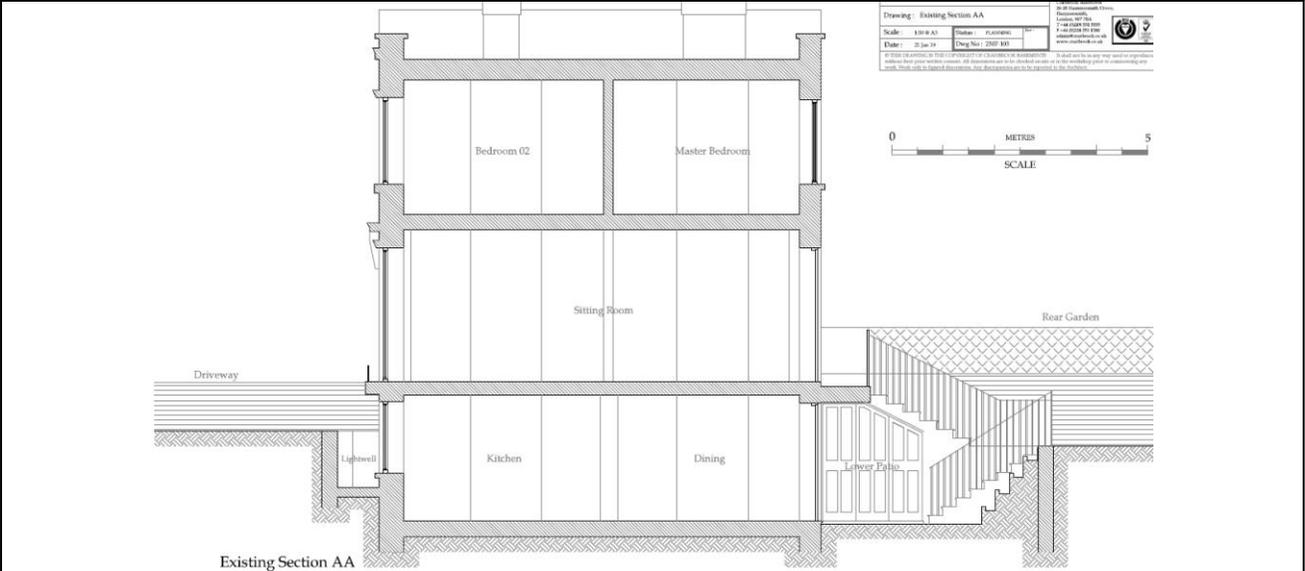
Existing Ground Floor



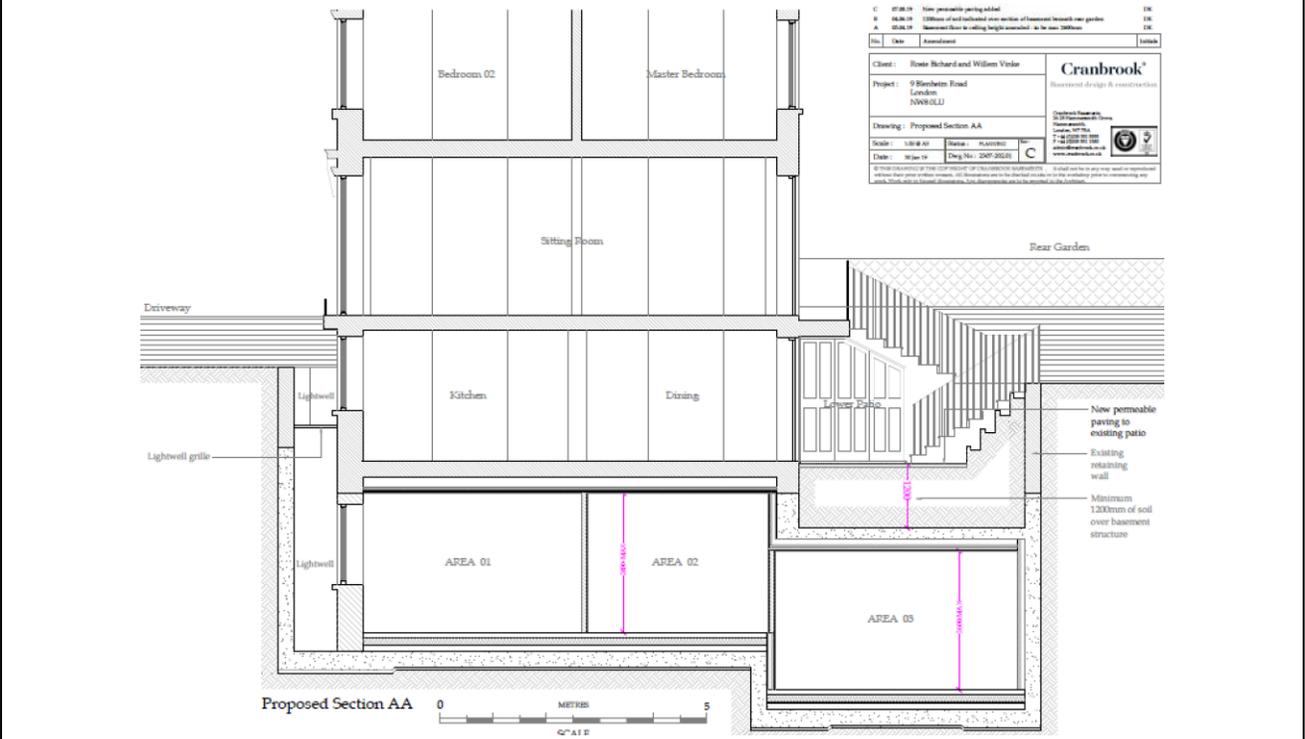
Existing and Proposed Elevations



Proposed Basement Floor



Existing Section Drawing



Proposed Section Drawing

DRAFT DECISION LETTER

Address: 9 Blenheim Road, London, NW8 0LU

Proposal: Excavation of a basement beneath the footprint of the building and part of rear garden, with lightwells to front and side elevations. (Linked to 19/01802/LBC)

Reference: 19/01717/FULL

Plan Nos: 2307-100; 2307-101; 2307-102; 2307-103; 2307-104; 2307-200.01 Rev B; 2307-201.01 Rev C; 2307-202.01 Rev C; 2307-203.01 Rev C; 2307-219; 2307-500; 2307-501; 2307-105; 2307-700; 2307-SK01; 2307-SK02; Design and Access Statement dated 4 March 2019; Arboricultural Impact Assessment by Open Spaces Landscape Architects dated April 2019; Brochure details by Brett Landscaping and Building Products highlighting proposed permeable hard surfacing (Alpha Flow data sheet); Flood Risk Assessment Report by Cranbrook dated 07.08.2019 (issue 3);, , , For Information Only.; Appendix A Checklists (Checklist B: Code of Construction Practice- Basements); Basement Development Review and Assessment of Impact on Groundwater, Surface Water and Ground Stability by CGL dated 6 March 2019; Construction Management Plan; Construction Method Statement by Horwitz Associates dated 1 March 2019; Construction Method Statement Executive Summary by Cranbrook dated 4 March 2019; Factual Report by Chelmer Global Ltd dated 21 February 2019; Structural Design Philosophy Report dated 4 March 2019; Sustainable Drainage Report dated 4 March 2019,

Case Officer: Avani Raven

Direct Tel. No. 020 7641 2857

Recommended Condition(s) and Reason(s)

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 Except for piling, excavation and demolition work, you must carry out any building work which can be heard at the boundary of the site only: , o between 08.00 and 18.00 Monday to Friday; , o between 08.00 and 13.00 on Saturday; and , o not at all on Sundays, bank holidays and public holidays. , , You must carry out piling, excavation and demolition work only: , o between 08.00 and 18.00 Monday to Friday; and , o not at all on Saturdays, Sundays, bank holidays and public holidays. , , Noisy work must not take place outside these hours unless otherwise agreed through a Control of Pollution Act 1974 section 61 prior consent in special circumstances (for example, to meet police traffic restrictions, in an emergency or in the interests of public safety). (C11AB)

Reason:

To protect the environment of residents and the area generally as set out in S29 of Westminster's City Plan (November 2016) and STRA 25, TRANS 23, ENV 5 and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R11AC),

- 3 **Pre Commencement Condition.** Prior to the commencement of any: (a) Demolition, and/or, (b) Earthworks/piling and/or , (c) Construction , On site you must apply to us for our written approval of evidence to demonstrate that any implementation of the scheme hereby approved, by the applicant or any other party, will be bound by the council's Code of Construction Practice. Such evidence must take the form of the relevant completed Appendix A checklist from the Code of Construction Practice, signed by the applicant and approved by the Council's Environmental Sciences Team, which constitutes an agreement to comply with the Code of Construction Practice and requirements contained therein. Commencement of the relevant stage of demolition, earthworks/piling or construction cannot take place until the City Council as local planning authority has issued its written approval through submission of details prior to each stage of commencement. (C11CD)

Reason:

To protect the environment of residents and the area generally as set out in S29 of Westminster's City Plan (November 2016) and STRA 25, TRANS 23, ENV 5 and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R11AC),

- 4 All new work to the outside of the building must match existing original work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the drawings we have approved or are required by conditions to this permission. (C26AA)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the St John's Wood Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 5 The grilles to the front and side lightwells shall be installed prior to the occupation of the new accommodation at basement level and shall be retained in-situ thereafter, and shall be formed of black coloured metal

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the St John's Wood Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 6 You must apply to us for approval of a section drawing through the side lightwell showing the relationship between the grill and the surrounding garden levels. You must not start any work on these parts of the development until we have approved what you have sent us., , You must then carry out the work

according to this drawing. (C26DB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the St John's Wood Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 7 **Pre Commencement Condition.** You must apply to us for approval of a method statement explaining the measures you will take to protect the trees on and close to the site. You must not start any demolition, site clearance or building work, and you must not take any equipment, machinery or materials for the development onto the site, until we have approved in writing what you have sent us. You must then carry out the work according to the approved details. (C31CC)

Reason:

To make sure that the trees on the site are adequately protected during building works. This is as set out in S38 of Westminster's City Plan (November 2016) and DES 1 (A), ENV 16 and ENV 17 of our Unitary Development Plan that we adopted in January 2007. (R31AC)

- 8 You must apply to us for approval of detailed drawings of a planting scheme which includes the number, size, species and position of trees and shrubs. You must not start work on the relevant part of the development until we have approved what you have sent us. You must then carry out the planting within one planting season of completing the development (or within any other time limit we agree to in writing)., If you remove any trees or find that they are dying, severely damaged or diseased within 5 years of planting them, you must replace them with trees of a similar size and species. (C30BB)

Reason:

To improve the appearance of the development, to make sure that it contributes to the character and appearance of this part of the St John's Wood Conservation Area, and to improve its contribution to biodiversity and the local environment. This is as set out in S25, S28 and S38 of Westminster's City Plan (November 2016) and ENV 16, ENV 17, DES 1 (A) and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R30CD)

- 9 You must hang all doors or gates so that they do not open over or across the road or pavement. (C24AA)

Reason:

In the interests of public safety and to avoid blocking the road as set out in S41 of Westminster's City Plan (November 2016) and TRANS 2 and TRANS 3 of our Unitary Development Plan that we adopted in January 2007. (R24AC)

- 10 You must provide permeable hard surfacing to the rear patio in accordance with the details within the brochure details by Brett Landscaping and Building Products (Alpha Flow data sheet) and the Flood Risk Assessment Report by Cranbrook dated 07.08.2019 (issue 3) hereby approved. This permeable surface must thereafter be retained as approved.

Reason:

To ensure sustainable urban drainage measures are incorporated within the scheme in accordance with CM28.1 of Westminster's City Plan (November 2016) and our adopted Supplementary Planning Document Basement Development in Westminster (2014).

Informative(s):

- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan (November 2016), Unitary Development Plan, neighbourhood plan (where relevant), supplementary planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service, in order to ensure that applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition, where appropriate, further guidance was offered to the applicant at the validation stage.
- 2 HIGHWAYS LICENSING:, Under the Highways Act 1980 you must get a licence from us before you put skips or scaffolding on the road or pavement. It is an offence to break the conditions of that licence. You may also have to send us a programme of work so that we can tell your neighbours the likely timing of building activities. For more advice, please phone our Highways Licensing Team on 020 7641 2560., , CONSIDERATE CONSTRUCTORS:, You are encouraged to join the nationally recognised Considerate Constructors Scheme. This commits those sites registered with the Scheme to be considerate and good neighbours, as well as clean, respectful, safe, environmentally conscious, responsible and accountable. For more information please contact the Considerate Constructors Scheme directly on 0800 783 1423, siteenquiries@ccscheme.org.uk or visit www.ccscheme.org.uk., , BUILDING REGULATIONS:, You are advised that the works are likely to require building regulations approval. Details in relation to Westminster Building Control services can be found on our website <https://www.westminster.gov.uk/contact-us-building-control>
- 3 This permission is based on the drawings and reports submitted by you including the structural methodology report. For the avoidance of doubt this report has not been assessed by the City Council and as a consequence we do not endorse or approve it in anyway and have included it for information purposes only. Its effect is to demonstrate that a member of the appropriate institution applying due diligence has confirmed that the works proposed are feasible without risk to neighbouring properties or the building itself. The construction itself will be subject to the building regulations and the construction methodology chosen will need to satisfy these regulations in all respects.

- 4 With regards to condition 6, you are strongly advised that the drawing should show the grill close to, or at, garden level
- 5 You will need to re-apply for planning permission if another authority or council department asks you to make changes that will affect the outside appearance of the building or the purpose it is used for. (I23AA)
- 6 The applicant is reminded that should they require mechanical ventilation, or any other plant equipment, a separate application for planning permission will be required.

Please note: the full text for informatives can be found in the Council's Conditions, Reasons & Policies handbook, copies of which can be found in the Committee Room whilst the meeting is in progress, and on the Council's website.

DRAFT DECISION LETTER

Address: 9 Blenheim Road, London, NW8 0LU,

Proposal: Excavation of a basement beneath the footprint of the building and part of rear garden, with lightwells to front and side elevations. (Linked to 19/01717/FULL)

Reference: 19/01802/LBC

Plan Nos: 2307-100; 2307-101; 2307-102; 2307-103; 2307-104; 2307-200.01 Rev B; 2307-201.01 Rev C; 2307-202.01 Rev C; 2307-203.01 Rev C; 2307-219; 2307-500; 2307-501; 2307-105; 2307-700; 2307-SK01; 2307-SK02; Design and Access Statement dated 4 March 2019; Arboricultural Impact Assessment by Open Spaces Landscape Architects dated April 2019; Brochure details by Brett Landscaping and Building Products highlighting proposed permeable hard surfacing (Alpha Flow data sheet); Flood Risk Assessment Report by Cranbrook dated 07.08.2019 (issue 3); , , , For Information Only.; Appendix A Checklists (Checklist B: Code of Construction Practice- Basements); Basement Development Review and Assessment of Impact on Groundwater, Surface Water and Ground Stability by CGL dated 6 March 2019; Construction Management Plan; Construction Method Statement by Horwitz Associates dated 1 March 2019; Construction Method Statement Executive Summary by Cranbrook dated 4 March 2019; Factual Report by Chelmer Global Ltd dated 21 February 2019; Structural Design Philosophy Report dated 4 March 2019; Sustainable Drainage Report dated 4 March 2019,

Case Officer: Avani Raven

Direct Tel. No. 020 7641 2857

Recommended Condition(s) and Reason(s)

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

The works hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

- 2 You must apply to us for approval of a section drawing showing an internal side elevation of the new staircase (including its balustrading) down to basement level in context with the existing lower ground to ground floor staircase above. You must not start any work on these parts of the development until we have approved what you have sent us., , You must then carry out the work according to this drawing. (C26DB)

Reason:

To protect the special architectural or historic interest of this listed building and to make sure the development contributes to the character and appearance of the St John's Wood Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1, DES 10 (A) and paras 10.108 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26FD)

- 3 All new work to the outside of the building must match existing original work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the drawings we have approved or are required by conditions to this permission. (C26AA)

Reason:

To protect the special architectural or historic interest of this listed building and to make sure the development contributes to the character and appearance of the St John's Wood Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1, DES 10 (A) and paras 10.108 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26FD)

Informative(s):

- 1 SUMMARY OF REASONS FOR GRANTING CONDITIONAL LISTED BUILDING CONSENT - In reaching the decision to grant listed building consent with conditions, the City Council has had regard to the relevant policies in the National Planning Policy Framework, the London Plan 2016, Westminster's City Plan (November 2016), and the City of Westminster Unitary Development Plan adopted January 2007, as well as relevant supplementary planning guidance, representations received and all other material considerations., , The City Council decided that the proposed works would not harm the special architectural and historic interest of this listed building., , In reaching this decision the following were of particular relevance:, S25 and S28 of Westminster's City Plan and DES 10 including paras 10.130 to 10.146 of the Unitary Development Plan, and paragraph 2.4 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings.
- 2 With regards to condition 2, you are advised that the new staircase should incorporate a solid side panel to the underside of the existing lower ground to ground floor staircase adjacent to ensure it remains subsidiary in terms of the heirarchy of the interior of this listed building.

Please note: the full text for informatives can be found in the Council's Conditions, Reasons & Policies handbook, copies of which can be found in the Committee Room whilst the meeting is in progress, and on the Council's website.

Item No.

4
